

PROJECT INFORMATION

Application for Chapter 40B Project Eligibility / Site Approval

for MassHousing-Financed and New England Fund (“NEF”) Homeownership Projects

Section 3: PROJECT INFORMATION

In order to issue Site Approval, MassHousing must find (as required by 760 CMR 56.04 (4)) that the proposed project appears generally eligible under the requirements of the housing subsidy program and that the conceptual project design is generally appropriate for the site.

Construction Type: New Construction

Total Dwelling Units:	50	Total Number of Affordable Units:	13
Number of Market Units:	37	Number of AMI 50% Affordable Units:	0
		Number of AMI 80% Affordable Units:	13

Unit Information:

Unit Type	Bedrooms	Baths	# Of Units	Unit Sq. Ft.	Sales Price	Condo/HO Fee
Affordable Unit - Below 80%	2 Bedroom	2 Baths	1	1,165	\$257,400	\$186
Market	2 Bedroom	2 Baths	1	1,267	\$930,000	\$602
Market	2 Bedroom	2 Baths	1	1,198	\$885,000	\$569
Market	2 Bedroom	2 Baths	1	1,202	\$890,000	\$571
Market	2 Bedroom	2 Baths	1	1,262	\$930,000	\$599
Affordable Unit - Below 80%	2 Bedroom	2 Baths	1	1,176	\$257,400	\$188
Market	1 Bedroom	1 Bath	1	733	\$620,000	\$348
Affordable Unit - Below 80%	3 Bedroom	2 Baths	1	1,501	\$281,200	\$240
Market	1 Bedroom	1 Bath	1	958	\$720,000	\$455
Market	2 Bedroom	2 Baths	1	1,255	\$940,000	\$596
Market	2 Bedroom	2 Baths	1	1,309	\$970,000	\$622
Market	3 Bedroom	2 Baths	1	1,535	\$1,125,000	\$729
Affordable Unit - Below 80%	2 Bedroom	2 Baths	1	1,152	\$257,400	\$184
Market	2 Bedroom	2 Baths	1	1,117	\$825,000	\$531
Market	2 Bedroom	2 Baths	1	1,165	\$870,000	\$553
Market	2 Bedroom	2 Baths	1	1,267	\$945,000	\$602
Affordable Unit - Below 80%	2 Bedroom	2 Baths	1	1,198	\$257,400	\$192
Market	2 Bedroom	2 Baths	1	1,201	\$900,000	\$570
Market	2 Bedroom	2 Baths	1	1,262	\$940,000	\$599
Market	2 Bedroom	2 Baths	1	1,176	\$875,000	\$559
Affordable Unit - Below 80%	1 Bedroom	1 Bath	1	720	\$236,100	\$115
Market	3 Bedroom	2 Baths	1	1,501	\$1,110,000	\$713
Market	2 Bedroom	2 Baths	1	1,165	\$860,000	\$553
Market	2 Bedroom	2 Baths	1	1,265	\$940,000	\$601
Market	2 Bedroom	2 Baths	1	1,309	\$980,000	\$622
Affordable Unit - Below 80%	3 Bedroom	2 Baths	1	1,535	\$281,200	\$246
Market	2 Bedroom	2 Baths	1	1,152	\$860,000	\$547
Affordable Unit - Below 80%	2 Bedroom	2 Baths	1	1,117	\$257,400	\$179
Affordable Unit - Below 80%	2 Bedroom	2 Baths	1	1,144	\$257,400	\$183
Market	2 Bedroom	2 Baths	1	1,237	\$915,000	\$588
Market	2 Bedroom	2 Baths	1	1,182	\$890,000	\$561
Market	2 Bedroom	2 Baths	1	1,202	\$910,000	\$571
Market	2 Bedroom	2 Baths	1	1,246	\$960,000	\$592
Affordable Unit - Below 80%	2 Bedroom	2 Baths	1	1,158	\$257,400	\$185
Market	1 Bedroom	1 Bath	1	720	\$575,000	\$342
Market	3 Bedroom	2 Baths	1	1,475	\$1,090,000	\$701
Market	2 Bedroom	2 Baths	1	1,165	\$870,000	\$553
Market	2 Bedroom	2 Baths	1	1,254	\$950,000	\$596
Market	2 Bedroom	2 Baths	1	1,309	\$990,000	\$622
Market	1 Bedroom	1 Bath	1	754	\$600,000	\$358
Affordable Unit - Below 80%	1 Bedroom	1 Bath	1	754	\$236,100	\$121
Market	2 Bedroom	2 Baths	1	1,123	\$850,000	\$533
Market	2 Bedroom	2 Baths	1	1,117	\$840,000	\$531
Market	2 Bedroom	2 Baths	1	1,276	\$1,020,000	\$606
Market	2 Bedroom	2 Baths	1	1,167	\$935,000	\$554
Market	2 Bedroom	2 Baths	1	1,277	\$1,020,000	\$607
Market	2 Bedroom	2 Baths	1	1,259	\$1,010,000	\$598
Affordable Unit - Below 80%	1 Bedroom	1 Bath	1	754	\$236,100	\$121
Affordable Unit - Below 80%	1 Bedroom	1 Bath	1	754	\$236,100	\$121
Market	2 Bedroom	2 Baths	1	1,083	\$870,000	\$514

Approach to calculating any additional fees relating to Condominium Association or Homeowners Association:

Fees are established by creating a realistic operating budget for the project and beneficial interest is then calculated based on the initial value of each dwelling unit

Percentage of Units with 3 or More Bedrooms: 10

* Note that the January 17, 2014 Interagency Agreement Regarding Housing Opportunities for Families with Children requires that at least 10% of the units in the Project must have three (3) or more bedrooms. Evidence of compliance with this requirement must be provided at Final Approval.

Handicapped Accessible Units - Total:	50	Market Rate:	37	Affordable:	13
Gross Density (units per acre):	46.2963	Net Density (units per buildableacre):			76.9231

Building Information

Building Type	Building Style	Construction Type	Stories	Height	GFA	Number Bldg
Residential	Multi-family	Construction	5	60	97,110	1

Will all features and amenities available to market unit residents also be available to affordable unit residents?

Yes

If not, explain the differences:

Parking

Total Parking Spaces Provided: 50 **Ratio of Parking Spaces to Housing Units:** 1

Lot Coverage

Buildings: 53% **Parking and Paved Areas:** 6%

Usable Open Space: 41% **Unusable Open Space:** 0%

Lot Coverage: 60%

Does project fit definition of "Large Project" (as defined in 760 CMR 56.03 (6))? No

Attachment 3.1

Preliminary Site Layout Plan

NOTES:

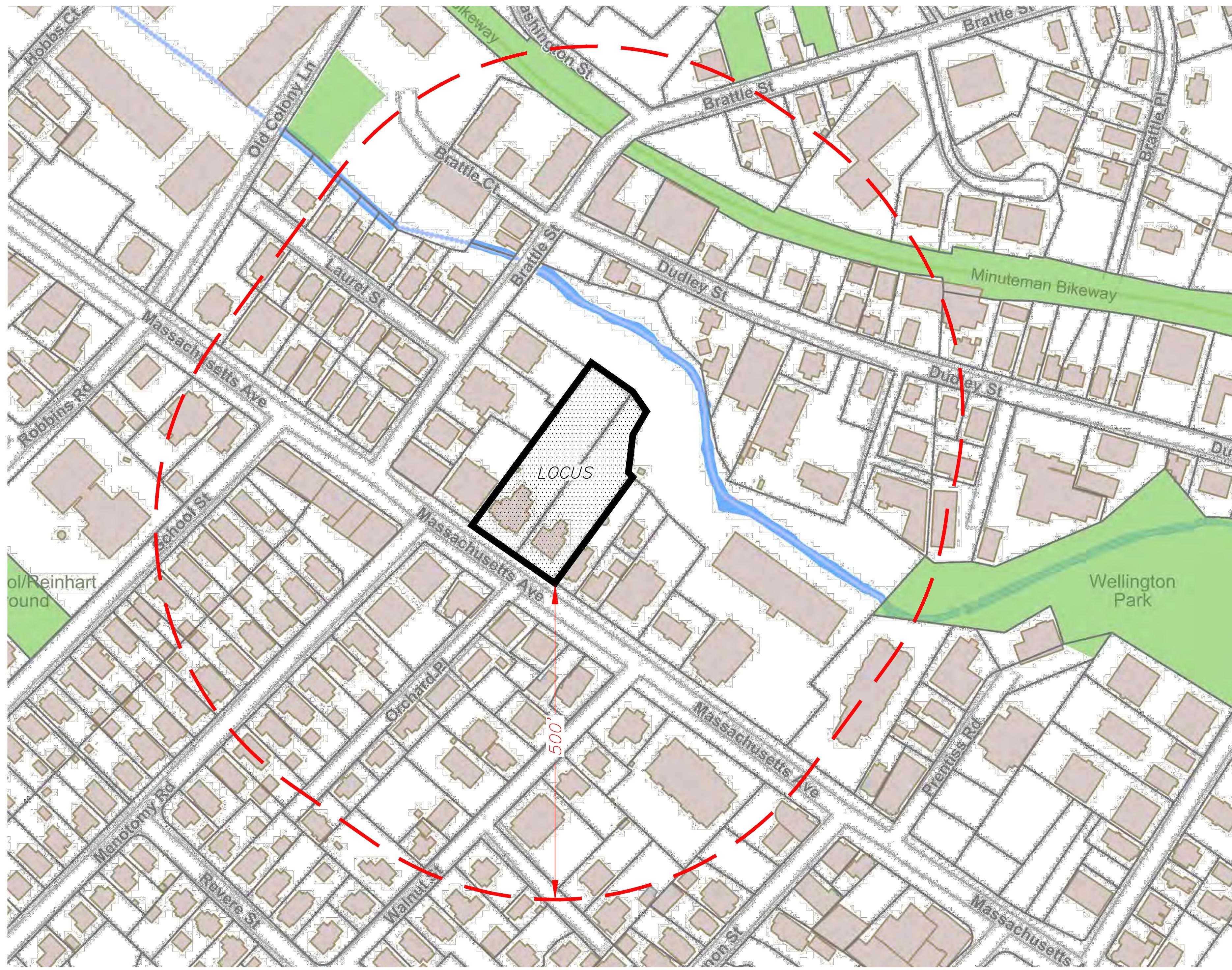
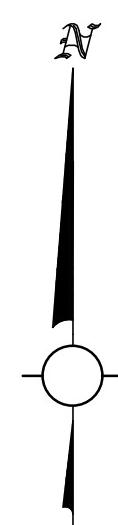
1. THE INFORMATION DEPICTED ON THIS PLAN HAS BEEN COMPILED FROM THE TOWN OF ARLINGTON GIS SYSTEM
2. LAND USE WITHIN 500 FEET OF THE SUBJECT PROPERTY IS PRIMARILY SINGLE FAMILY DWELLINGS AND COMMERCIAL BUSINESSES, AND INCLUDES THE HIGHLAND FIRE STATION.

1021 & 1025 MASSACHUSETTS AVENUE (1021 ASSESSORS MAP 55 LOT 19) (1025 ASSESSORS MAP 55 LOT 20)

NOTICE OF INTENT PLAN SET

LOCATED IN ARLINGTON, MA

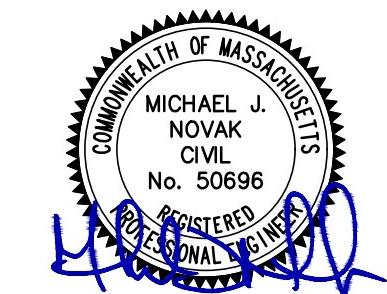
APRIL 27, 2022



LOCUS CONTEXT MAP
(SCALE 1"=100')

PREPARED BY:

PATRIOT Engineering
35 BEDFORD STREET, SUITE 4
LEXINGTON, MASSACHUSETTS 02420
T: (978) 726-2654
www.patriot-eng.com

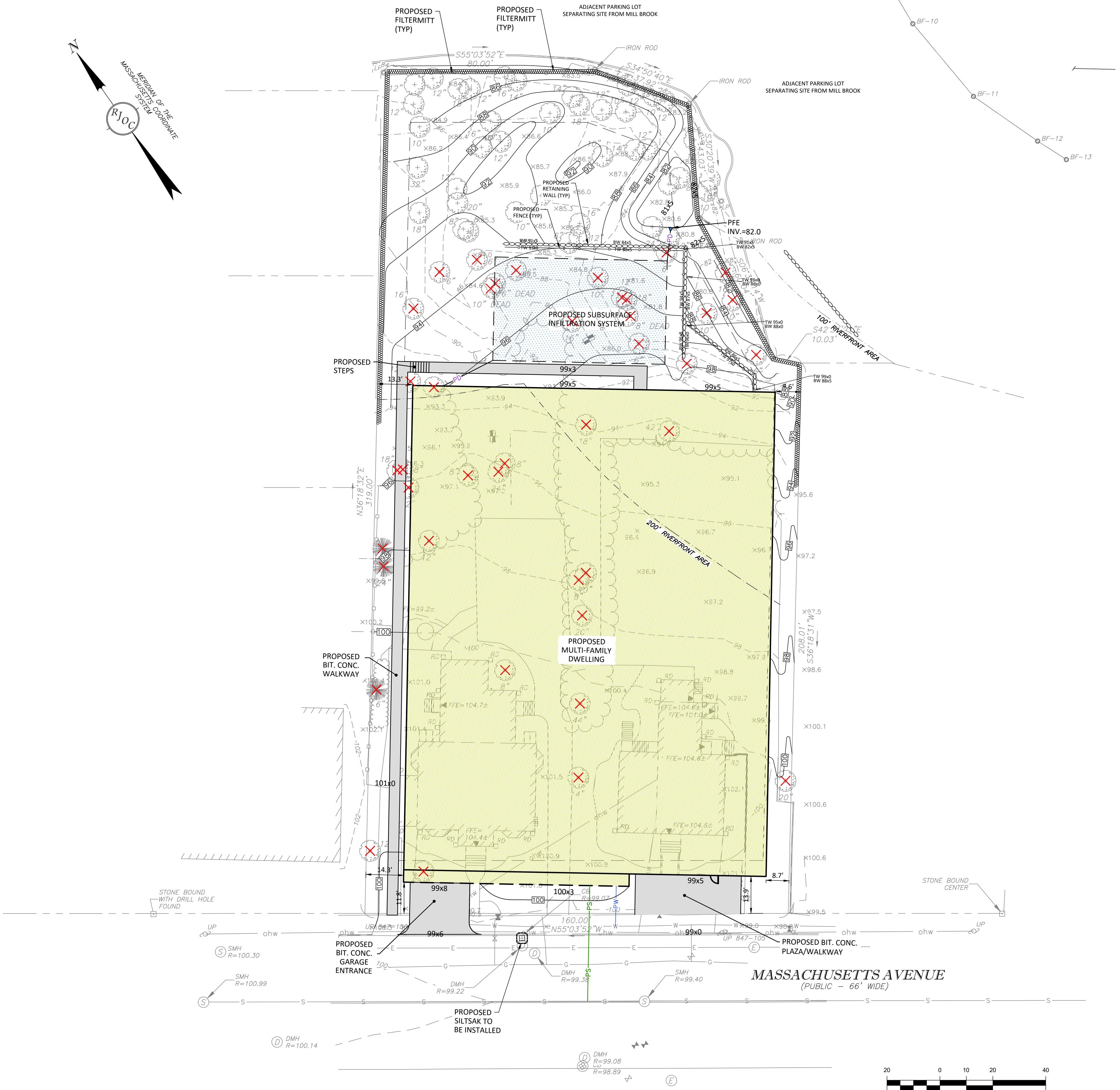


SHEET INDEX

1. COVER SHEET
2. EXISTING CONDITIONS PLAN
3. SITE PLAN
4. DETAIL SHEET
5. BY RITE SITE PLAN
6. FEMA MAP

APPLICANT:

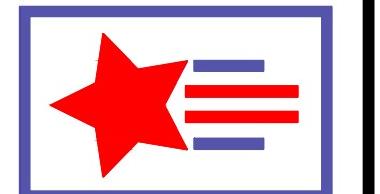
MAJ INVESTMENT, LLC
13 WHEELING AVENUE
WOBURN, MA 01801



NOTES:					
1.	UNDERGROUND UTILITIES SHOWN ARE FROM OBSERVED SURFACE INDICATIONS, SUBSURFACE INDICATIONS, AND COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY AS OF THE DATE OF THIS SURVEY. NO INFORMATION REGARDING RECORD UTILITIES HAS BEEN PROVIDED BY ELECTRIC AND GAS PROVIDERS. BEFORE CONSTRUCTION CALL "DIG SAFE" 811.				
2.	THE HORIZONTAL DATUM IS THE MASSACHUSETTS COORDINATE SYSTEM (NAD83), THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). DATUMS WERE ESTABLISHED USING RTK GPS METHODS.				
3.	THE POSITIONAL ACCURACY OF THE DATA AND PHYSICAL IMPROVEMENTS ON THIS PLAN MAY BE APPROXIMATE. ANY USE OF ELECTRONIC DATA CONTAINED IN AUTOCAD VERSIONS OF THIS PLAN TO GENERATE COORDINATES OR DIMENSIONS NOT SHOWN ON THE PLAN IS NOT AUTHORIZED.				
4.	EDGE OF BANK-MEAN ANNUAL HIGH WATER LINE WAS DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS, INC. ON OCTOBER 15, 2021 AND WAS LOCATED IN THE FIELD BY TOTAL STATION METHODS ON THE SAME DAY BY R.J. O'CONNELL & ASSOCIATES.				
5.	CONTOUR INTERVAL IS TWO FOOT (2').				

1021 & 1025 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS
DRAWN BY:
CHECKED BY:
DATE: 4-27-2022
PROJECT No: 21-32

PATRIOT Engineering
35 BEDFORD STREET, SUITE 4
LEXINGTON, MASSACHUSETTS 02420
T: (978) 726-2654
www.patriot-eng.com

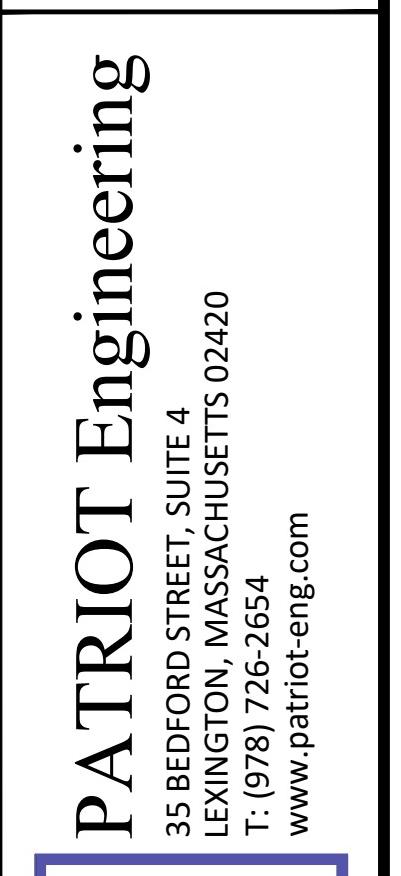


SITE CONSTRUCTION PLAN
LOCATED IN
ARLINGTON, MA
(MIDDLESEX COUNTY)
PREPARED FOR
MAJ INVESTMENT, LLC

SHEET
3 OF 6

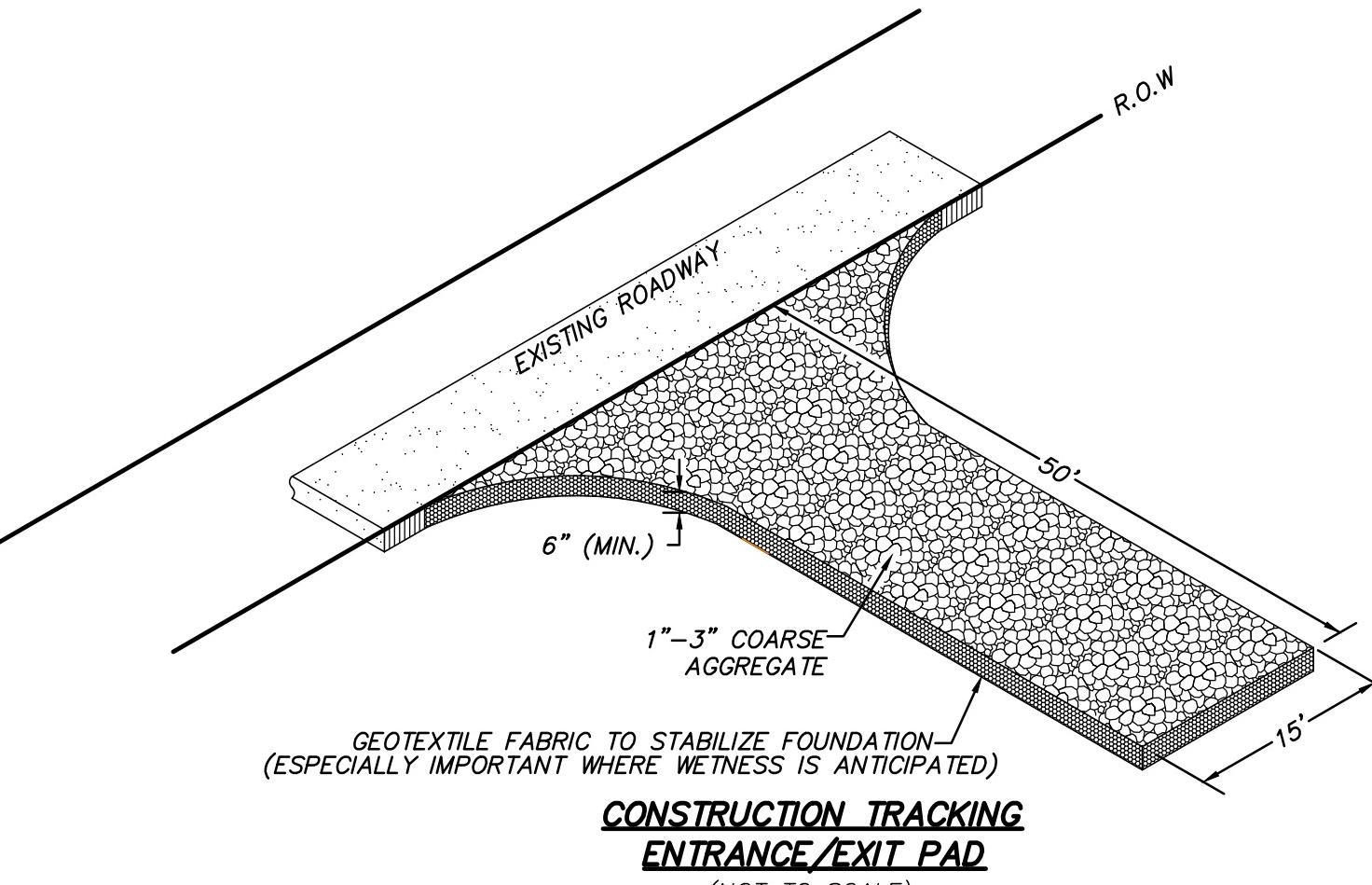
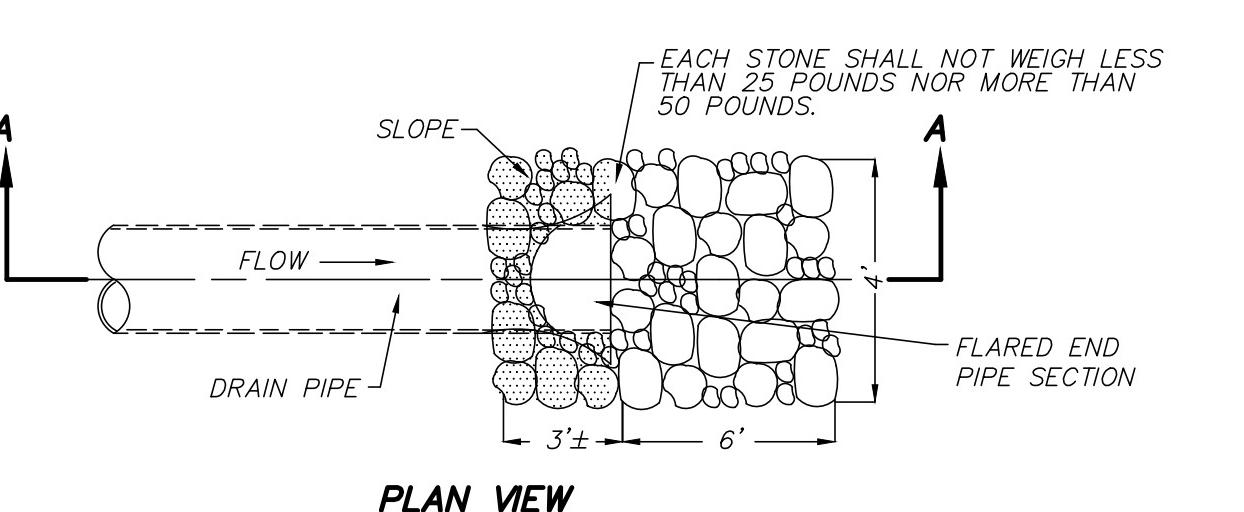
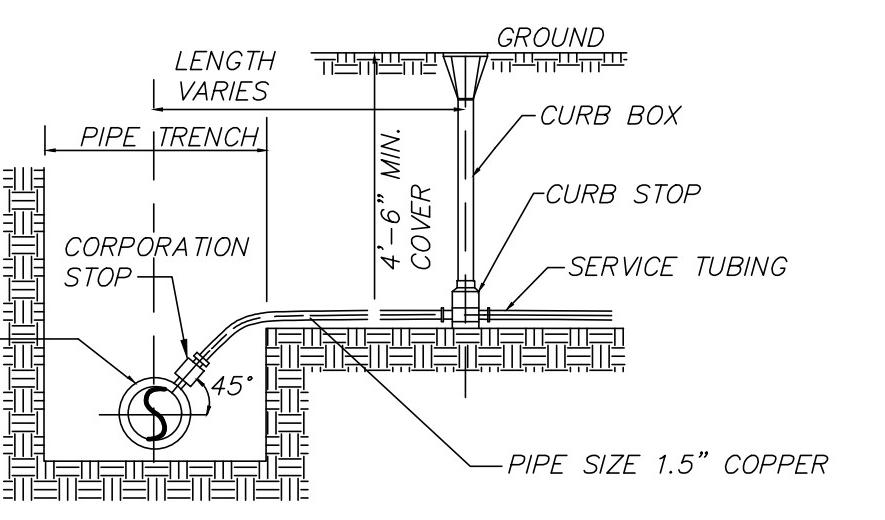
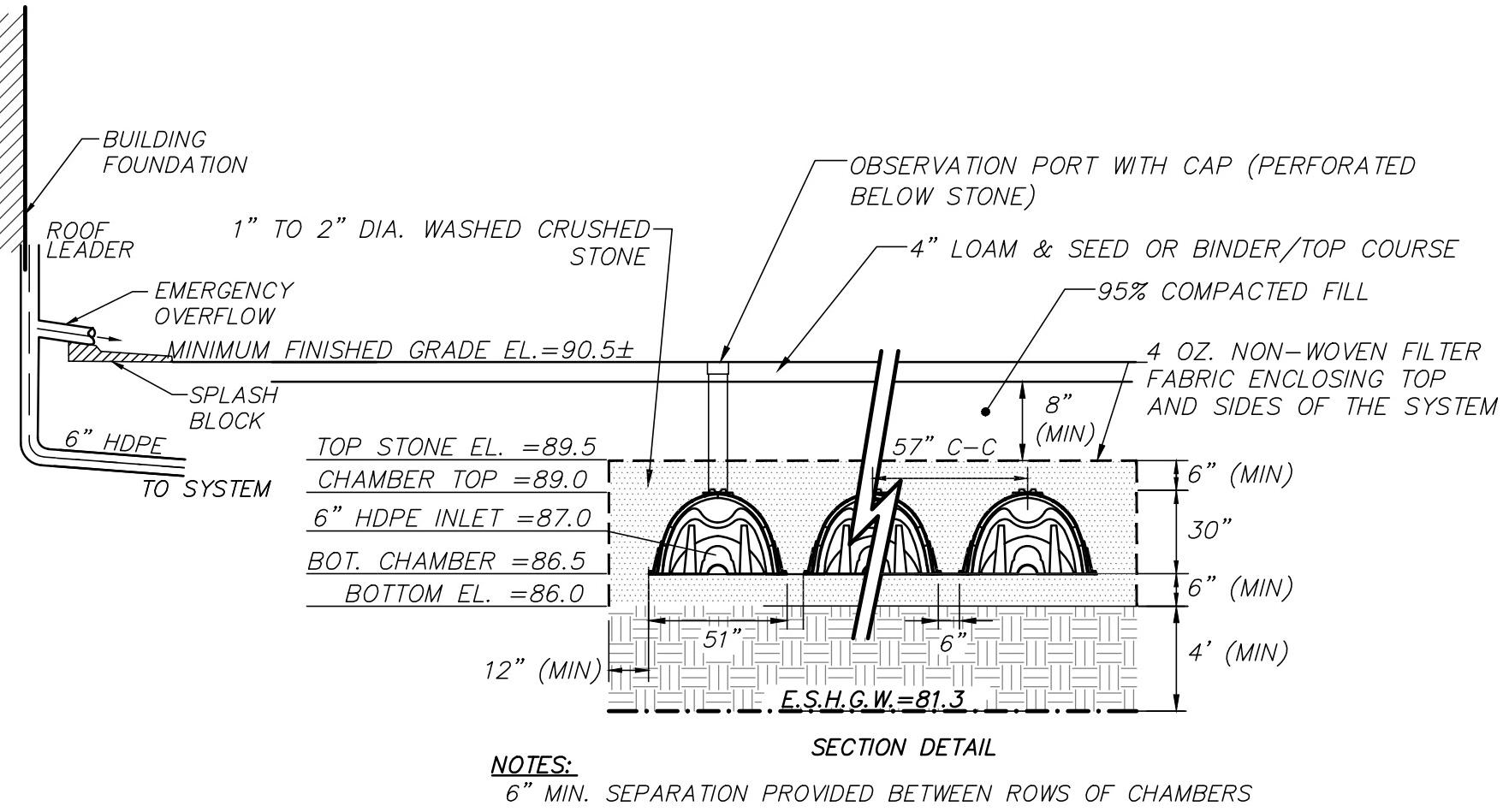
1021 & 1025 MASSACHUSETTS
 AVENUE
 ARLINGTON, MASSACHUSETTS
 DRAWN BY:
 CHECKED BY:
 DATE: 4-27-2022
 PROJECT No: 21-32

REVISIONS	DESCRIPTION

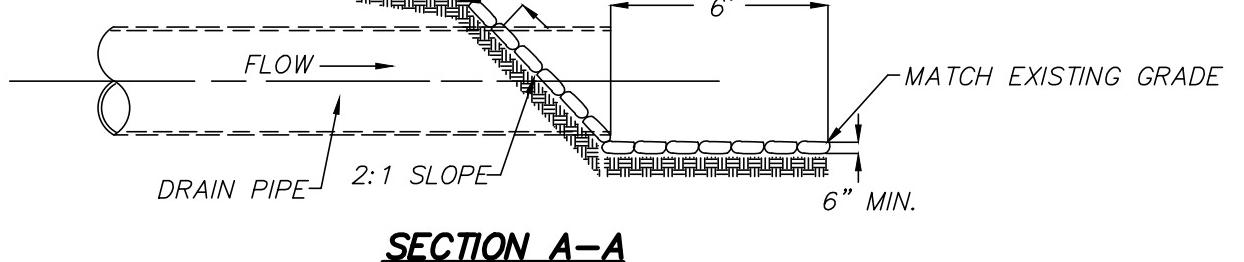


SITE DETAILS
 LOCATED IN
 ARLINGTON, MA
 (MIDDLESEX COUNTY)
 PREPARED FOR
 MAJ INVESTMENT, LLC

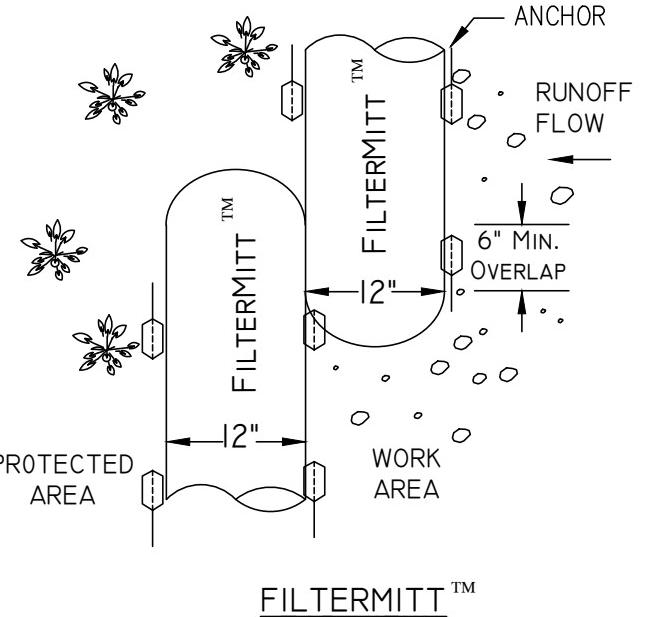
SHEET
 4 OF 6



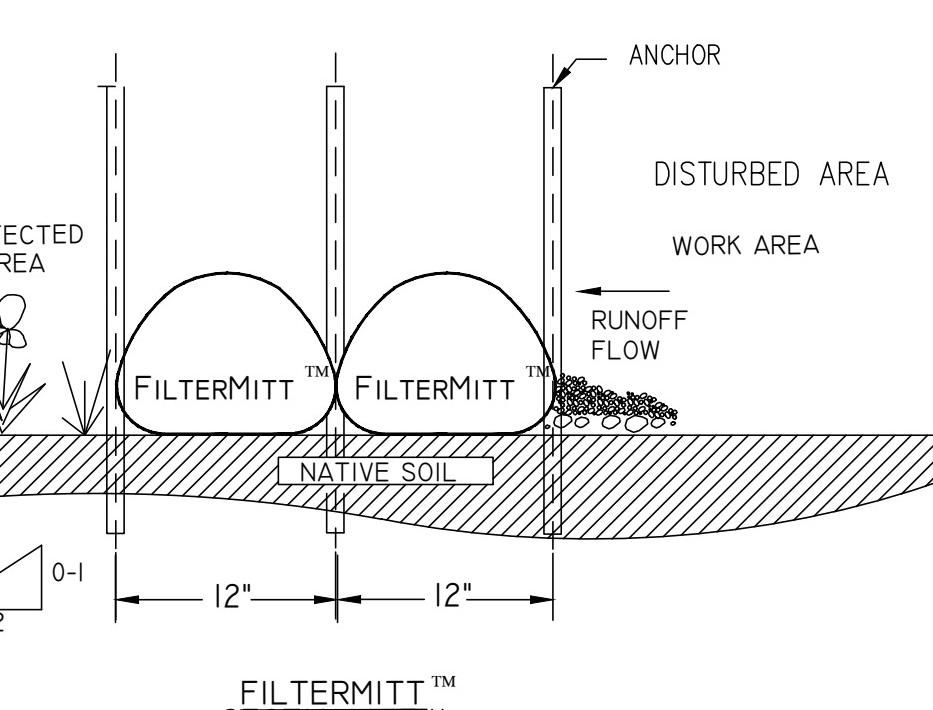
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RIPRAP OUTLET APRON DETAIL
 (NOT TO SCALE)

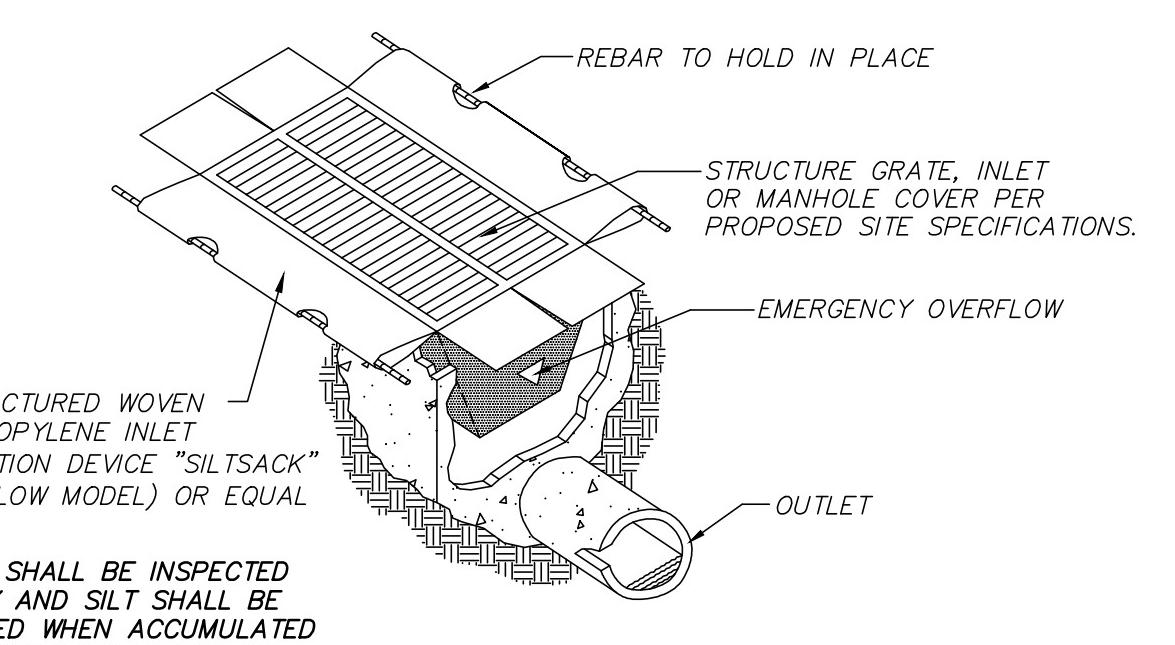


Filtermitt™ COMPONENTS:
 OUTSIDE CASING: 100% organic hessian.
 FILLER INGREDIENT: FiberRoot Mulch™
 • A blend of coarse and fine compost and shredded wood.
 • Particle sizes: 100% passing a 3" screen;
 90-100% passing a 1" screen; 70-100%
 passing a 0.75" screen; 30-75% passing
 a 0.25" screen.
 • Weight: Approx. 850 lbs./cu.yd.
 (Ave. 30 lbs./l.f.t.)

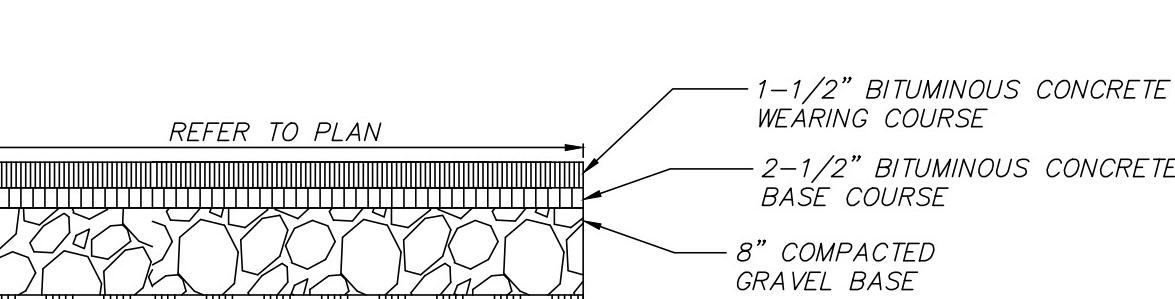


FILTERMITT™ DETAIL
 (NOT TO SCALE)

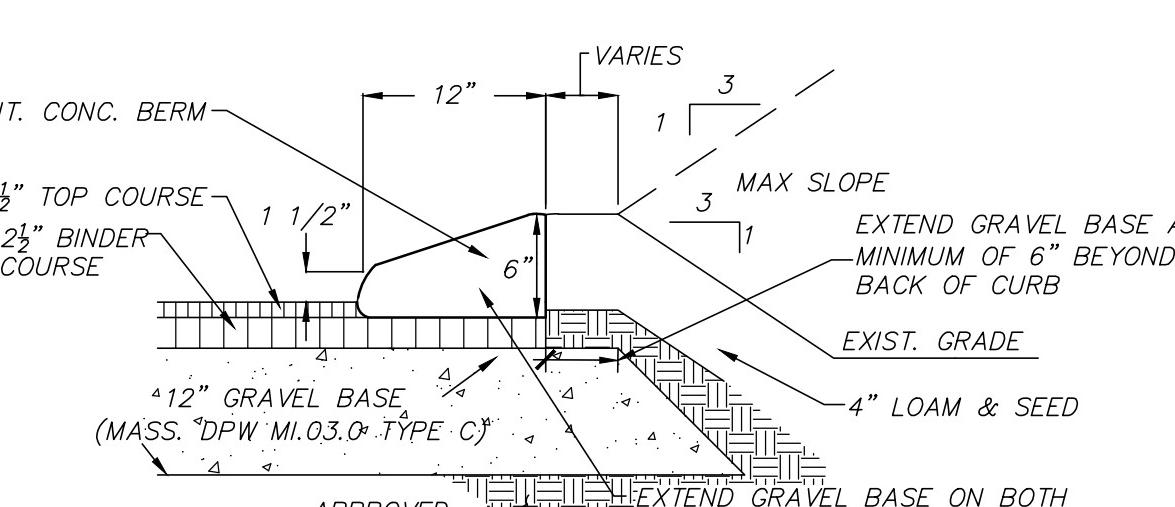
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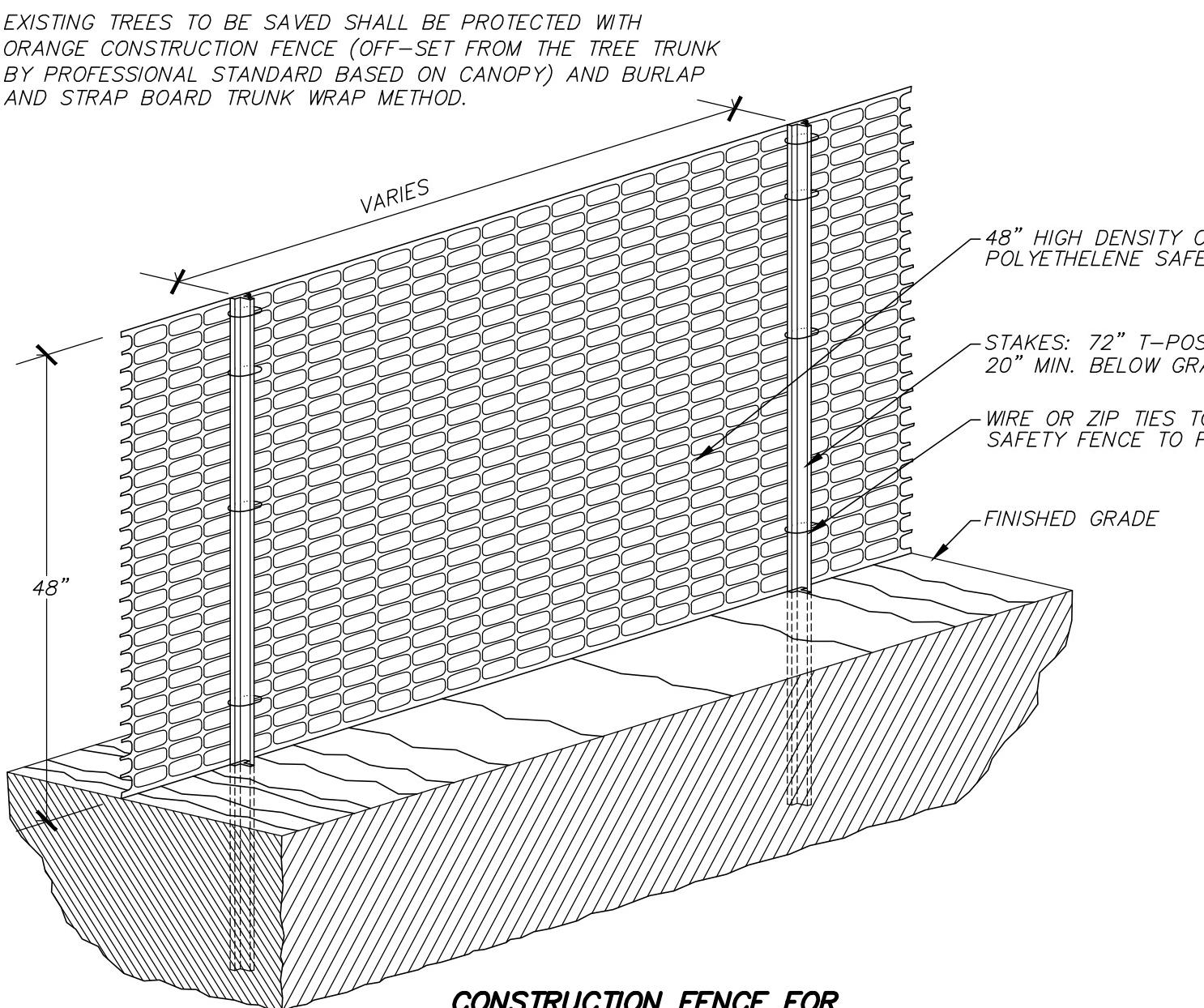
SILTSACK DETAIL
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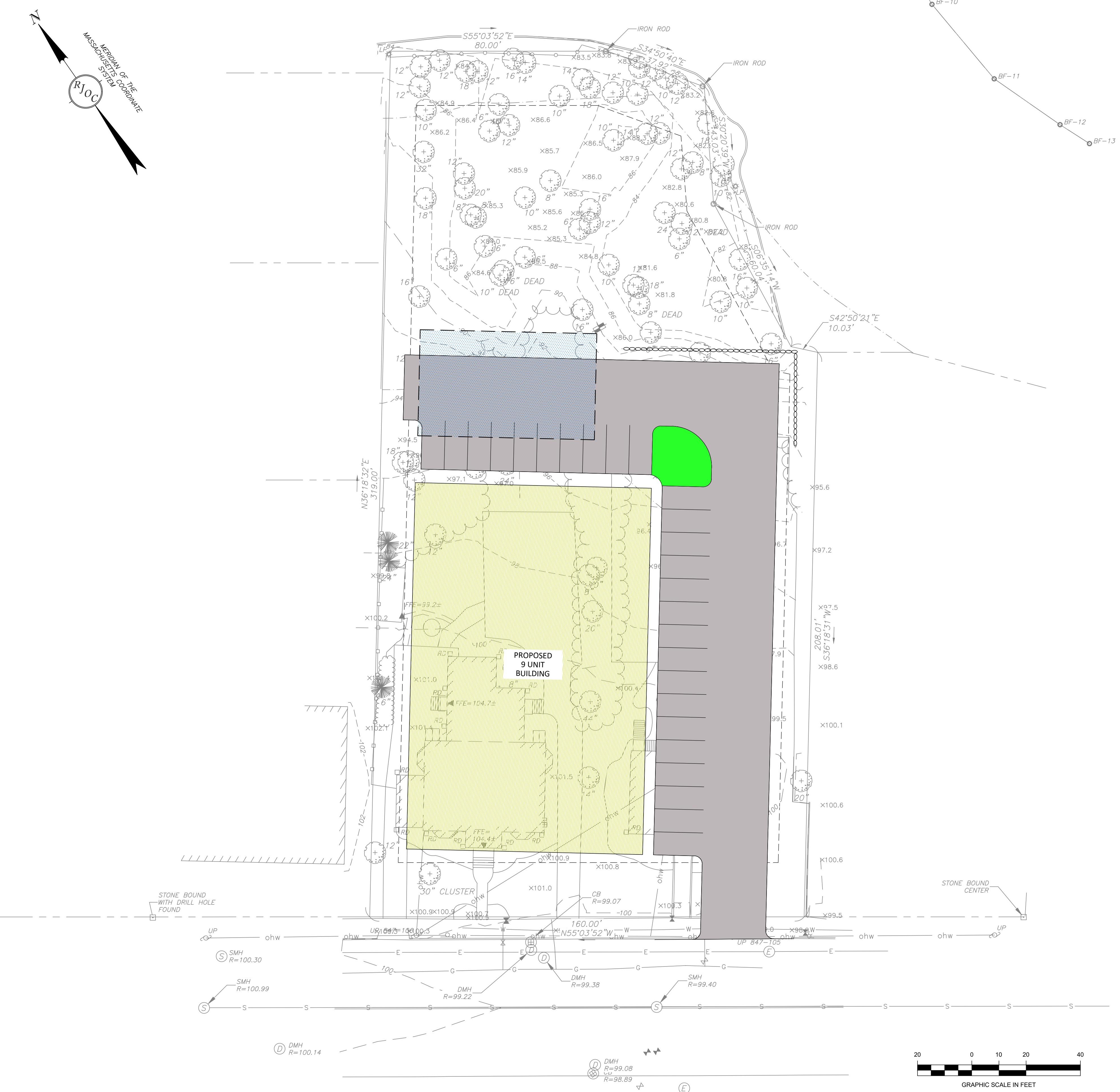
BITUMINOUS CONCRETE WALKWAY
 (NOT TO SCALE)



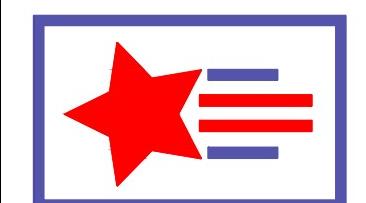
PROPOSED CAPE COD BERM
 (NOT TO SCALE)



CONSTRUCTION FENCE FOR TREE PROTECTION DETAIL
 (NOT TO SCALE)



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35 BEDFORD STREET, SUITE 4
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BY RITE SITE PLAN
LOCATED IN
ARLINGTON, MA
(MIDDLESEX COUNTY)
PREPARED FOR
MAJ INVESTMENT, LLC

NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible update or additional flood hazard information.

To obtain more detailed information in areas where Base Flood Elevations (BFEs) and/or floodways have been determined, users are encouraged to consult the Flood Hazard Map Data and/or Summary of Stiltwater Elevations table contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Actual flood elevation information contained in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Coastal Base Flood Elevation: Shown on this map apply only landward of 0.0 feet North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stiltwater Elevations tables in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stiltwater Elevations tables should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The projection used in the preparation of this map was Massachusetts State Plane Mainland zone (FIPSZONE 2001), meters. The horizontal datum was NAD 83, GRS80 spheroid. Differences in datum, spheroid, projection or State Plane zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations to determine vertical safety factors. For further information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

NGS Information Services
NOAA, NNGS12
National Geodetic Survey
SSMC-3 #9202
1315 East-West Highway
Silver Spring, Maryland 20910-3282
(301) 713-3242

To obtain current elevation, description, and/or location information for **bench marks** shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-2242, or visit its website at <http://www.ngs.noaa.gov>.

Base map information shown on this FIRM was provided in digital format by the City of Boston, Energy and Environmental Affairs (MassEPA), Commonwealth of Massachusetts, Executive Office of Energy and Environmental Affairs. This information was derived from digital orthophotos produced at a scale of 1:5,000, from aerial photography dated April 2005.

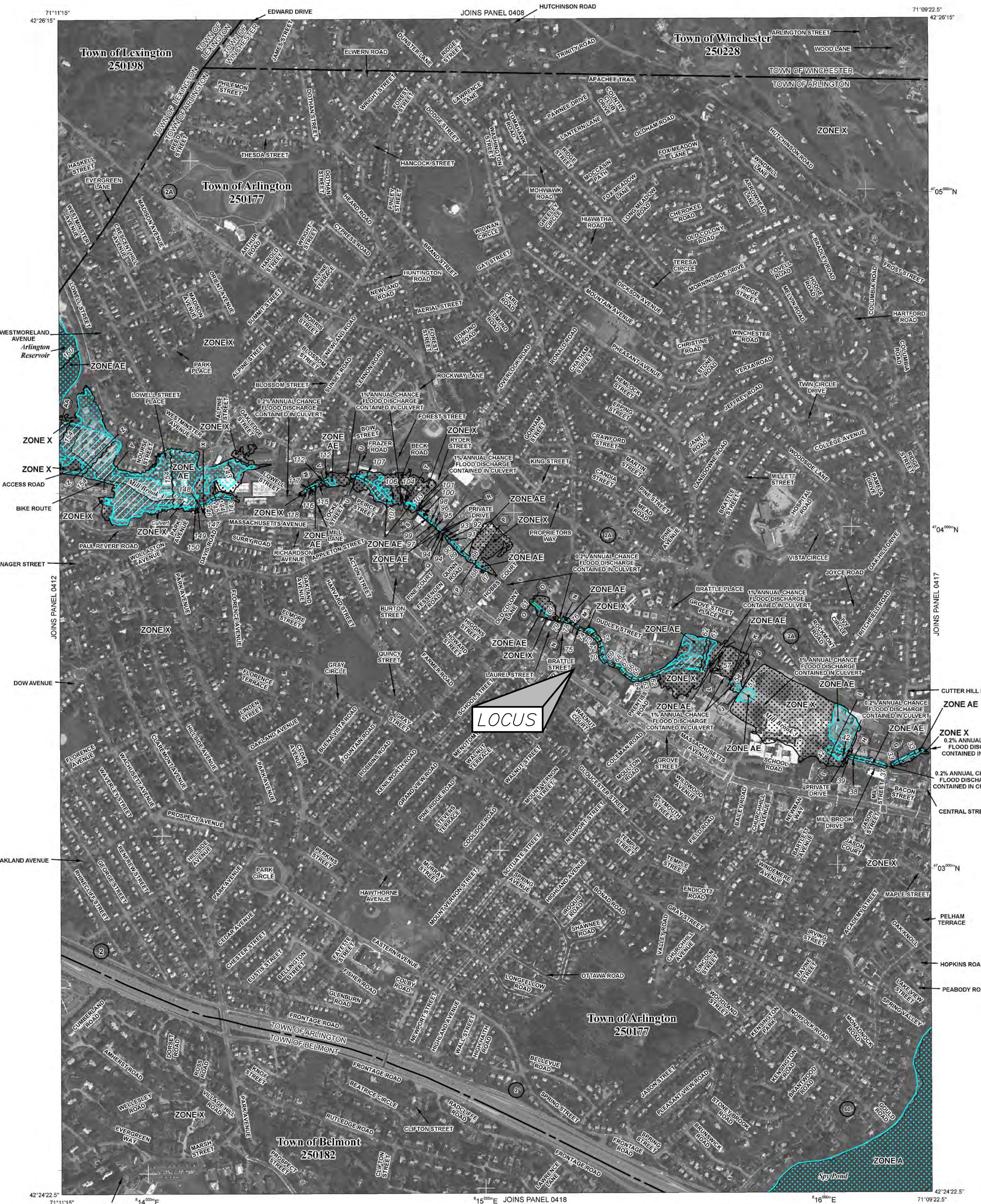
This map reflects more detailed and up-to-date stream channel configurations than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study Report (which contain actual stream hydraulics) may reflect stream channel distances that differ from what is shown on this map.

Corporate limit disclaimer: This map is based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels; community map repository addresses; and a listing of communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

Contact the **FEMA Map Service Center** at 1-800-358-9616 for information on available products associated with this FIRM. Available products may include previously issued Letters of Map Change, a Flood Insurance Study report, and/or digital versions of this map. The FEMA Map Service Center may also be reached by Fax at 1-800-358-9620 and its website at <http://msc.fema.gov>.

If you have questions about this map or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA MAP (1-877-336-2627) or visit the FEMA website at <http://www.fema.gov>.



LEGEND

SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AH, AE, and V. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

ZONE A No Base Flood Elevations determined.

ZONE AE Base Flood Elevations determined.

ZONE AH Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.

ZONE AO Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depth determined. For areas of alluvial fan flooding, velocities also determined.

ZONE AR Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system which was never fully described. Zone AR indicates that former flood control system is being restored to provide protection from the 1% annual chance or greater flood.

ZONE A99 Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.

ZONE V Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.

ZONE VE Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER FLOOD AREAS

Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

OTHER AREAS

Areas determined to be outside the 0.2% annual chance floodplain.

Areas in which flood hazards are undetermined, but possible.

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS

OTHERWISE PROTECTED AREAS (OPAs)

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

1% annual chance floodplain boundary

0.2% annual chance floodplain boundary

Floodway boundary

Zone D boundary

CBRS and OPA boundary

Boundary defining Special Flood Hazard Areas and Otherwise Protected Areas of different Base Flood Elevations, flood depths or flood velocities.

Base Flood Elevation line and value; elevation in feet*

Base Flood Elevation value where uniform within zone; elevation in feet*

*Referenced to the North American Vertical Datum of 1988

▲ Cross section line

○ Transect line

87°07'45", 32°22'30" Geographic coordinates - referenced to the North American Datum of 1983 (NAD 83), Western Hemisphere

76°N 600000 FT 500-meter Universal Transverse Mercator grid values, zone 19

DX5510 x 600000 FT 500-foot grid values; Massachusetts State Plane coordinate system, Mainland zone (FIPSZONE 2001), Lambert Conformal Conic projection

Bench mark (see explanation in Notes to Users section of this FIRM panel)

● M.1.5 River Mile

MAP REPOSITORY

Refer to listing of Map Repositories on Map Index

EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP

June 4, 2010

EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL

For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction.

To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6500.

(SCALE 1" = 600')

NFIP			
FIRM			
FLOOD INSURANCE RATE MAP			
MIDDLESEX COUNTY, MASSACHUSETTS (ALL JURISDICTIONS)			
PANEL 416 OF 656			
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)			
CONTAINS:			
COMMUNITY NUMBER PANEL SUFFIX			
ARLINGTON, TOWN OF 250177 0416	BELMONT, TOWN OF 250182 0416	LEXINGTON, TOWN OF 250193 0416	WINCHESTER, TOWN OF 250228 0416
250177 0416	250182 0416	250193 0416	250228 0416

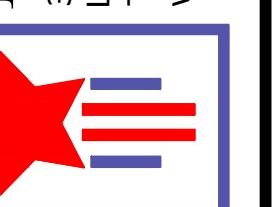
Notice to User: The Map Number shown below should be used when placing map orders. The Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER
25017C0416E

EFFECTIVE DATE
JUNE 4, 2010

Federal Emergency Management Agency

1021 & 1025 MASSACHUSETTS AVENUE	DATE: 4-27-2022
ARLINGTON, MASSACHUSETTS	DRAWN BY: CHECKED BY:



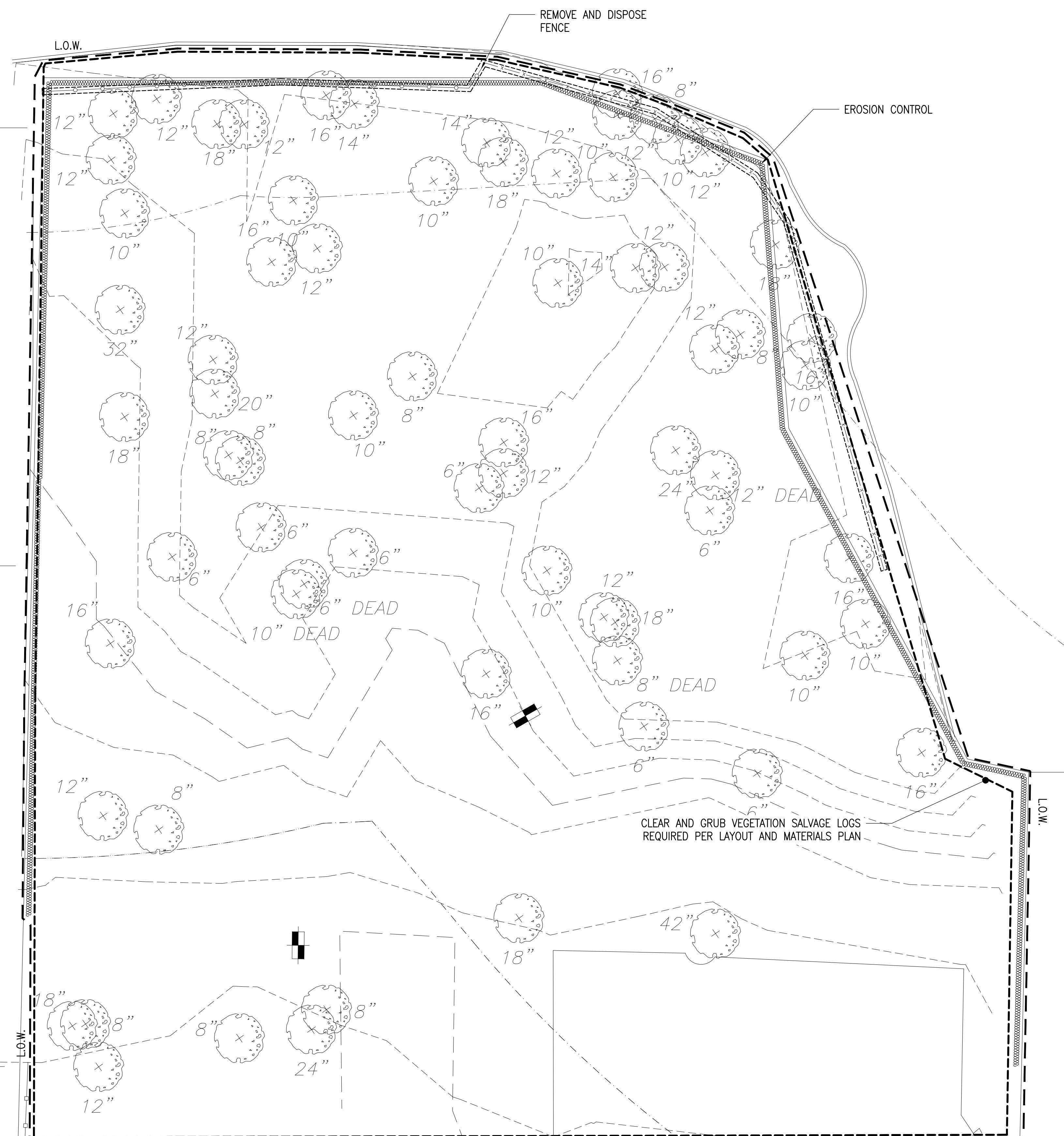
1021
MASSACHUSETTS
AVENUE

ARLINGTON, MASSACHUSETTS

XXXXXX

LEGEND

L.O.W. LIMIT OF WORK LINE



kzla

Kyle Zick Landscape Architecture, Inc.
36 Bromfield Street Suite 202
Boston, MA 02108
617 451-1018 Tel
www.kylezick.com

DRAFT CONSTRUCTION
DOCUMENT SET

Job Number:
Project: ARLINGTON RES.
Drawn By: YL Checked By: KZ
Date: APRIL 08, 2022
Scale: 1'=10'-0"
Drawing Title:

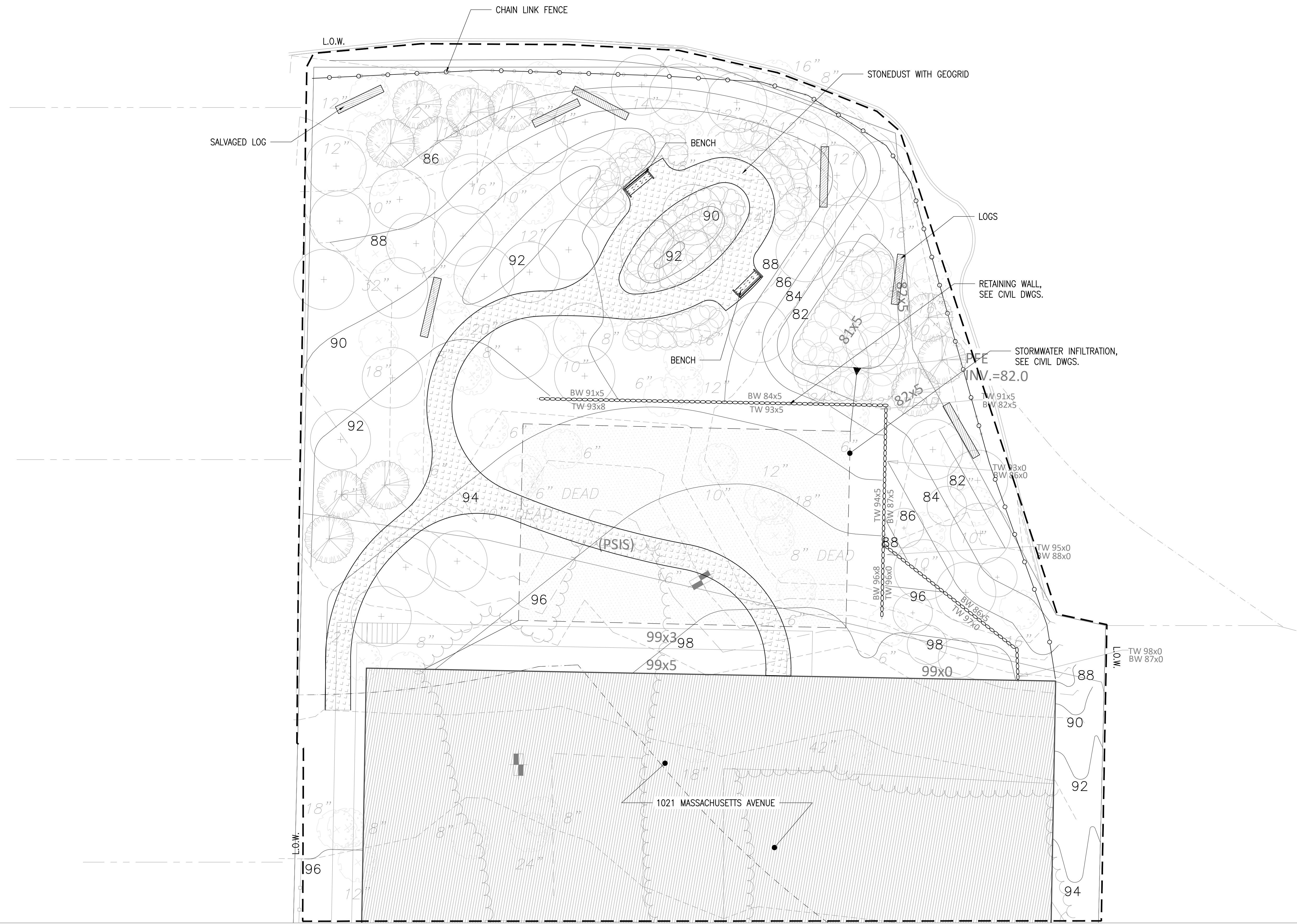
SITE PREPARATION PLAN

0 5 10 20 FT.

L1

LEGEND

L.O.W. LIMIT OF WORK LINE



1021
MASSACHUSETTS
AVENUE

ARLINGTON, MASSACHUSETTS

XXXXXX

NO. _____ F

KZL
Kyle Zick Landscape Architecture, Inc.
36 Bromfield Street Suite 202 617 451-1018 Tel
Boston, MA 02108 www.kylezick.com

DRAFT CONSTRUCTION DOCUMENT SET

Job Number:

Project: ARLINGTON RES.

Drawn By: YL Checked By: KZ

Date: APRIL 08, 2022

Scale: 1"=10'-0"

Drawing Title:

LAYOUT AND MATERIAL PLAN

0 5 10 20 FT. 

L2

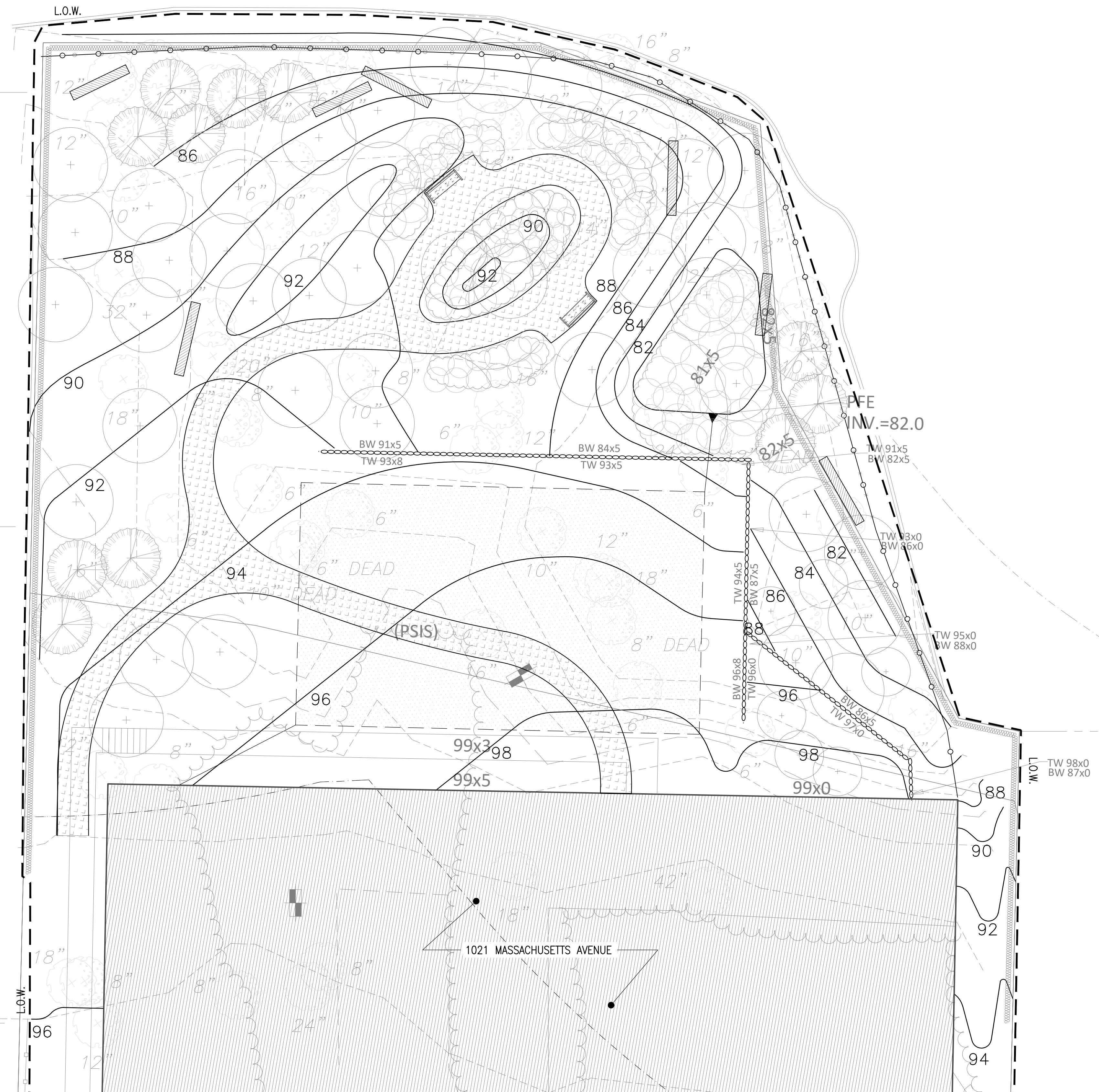
1021
MASSACHUSETTS
AVENUE

ARLINGTON, MASSACHUSETTS

XXXXXX

LEGEND

- - - L.O.W. LIMIT OF WORK LINE
- ● - PROPOSED CONTOUR, TYP.
- - - EXISTING CONTOUR, TYP.



kzla

Kyle Zick Landscape Architecture, Inc.
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DRAFT CONSTRUCTION
DOCUMENT SET

Job Number:			
Project:	ARLINGTON RES.		
Drawn By:	YL	Checked By:	KZ
Date:	APRIL 08, 2022		
Scale:	1'=10'-0"		
Drawing Title:			

GRADING PLAN

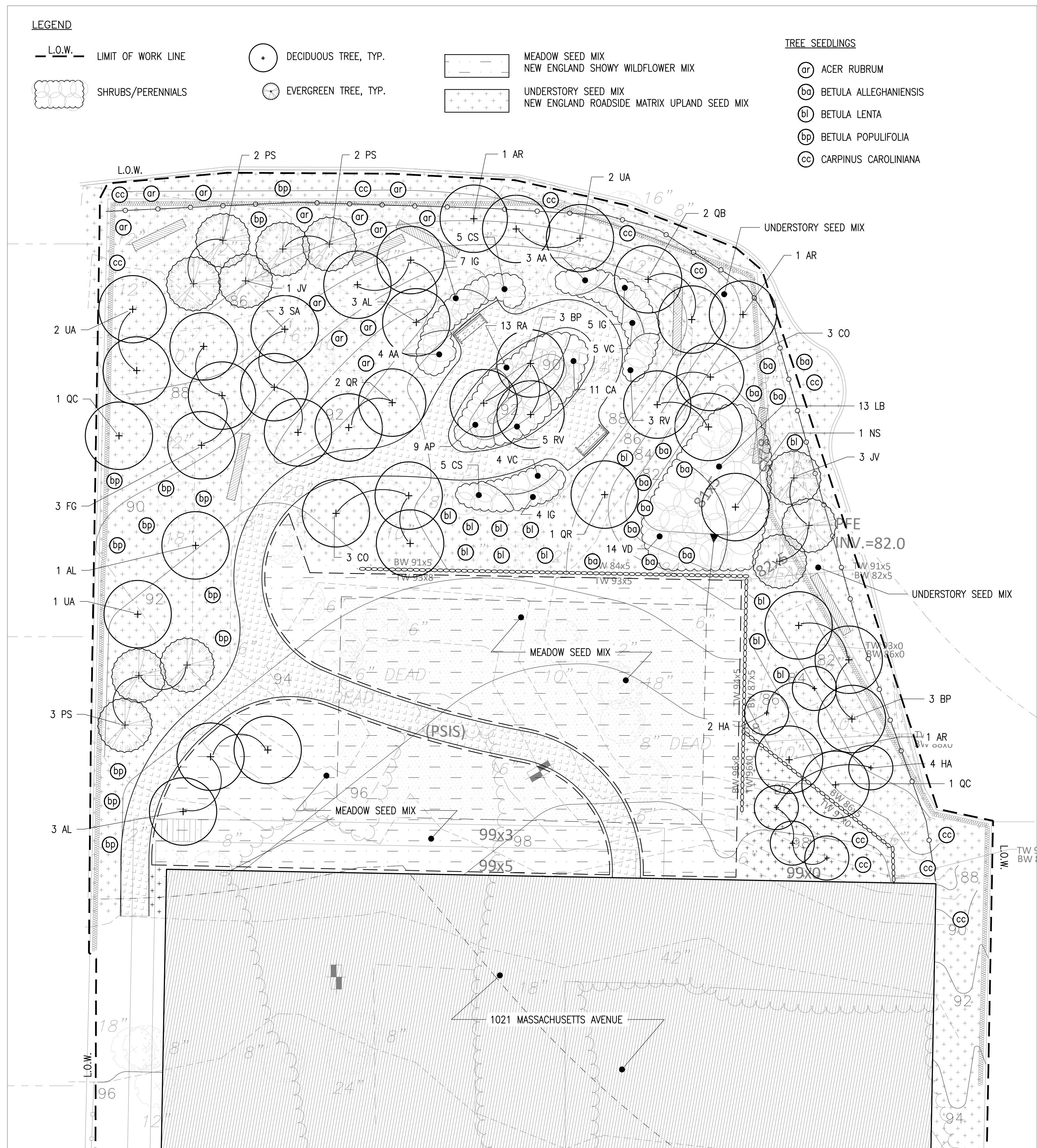
0 5 10 20 FT. N

L3

1021
MASSACHUSETTS
AVENUE

ARLINGTON, MASSACHUSETTS

XXXXXX



0 5 10 20 FT. N

kzla

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DRAFT CONSTRUCTION
DOCUMENT SET

Job Number:

Project: ARLINGTON RES.

Drawn By: YL Checked By: KZ

Date: APRIL 08, 2022

Scale: 1'=10'-0"

Drawing Title:

PLANTING PLAN

L4

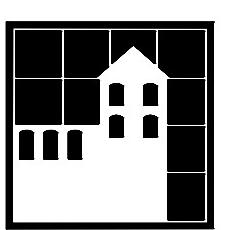
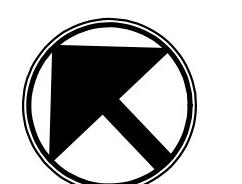
Attachment 3.2

Graphic Representations of Project/Preliminary Architectural Plans



G R O U N D F L O O R P L A N

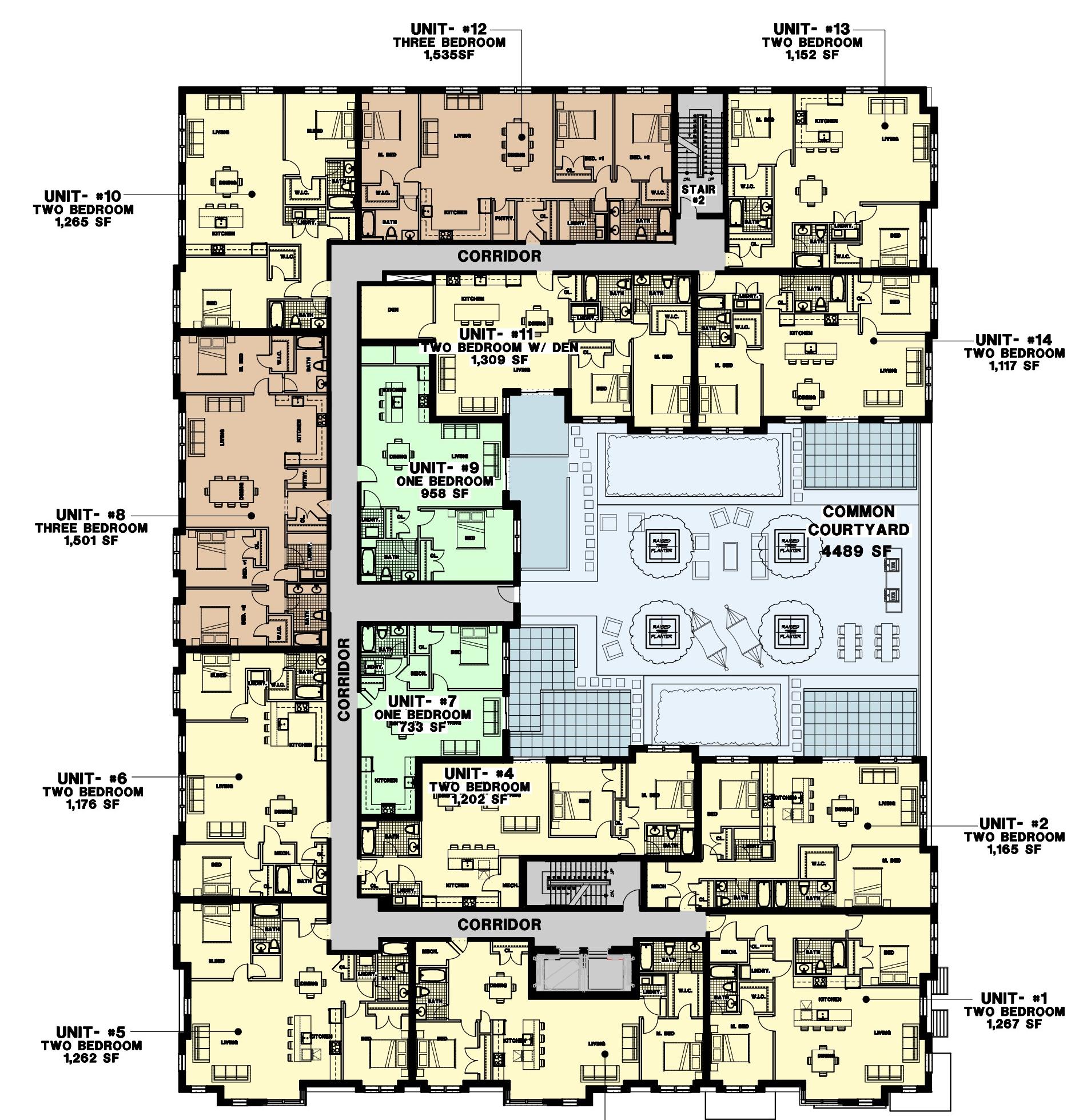
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SCALE: 1" = 20' - 0"



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MASS AVE. CONDOMINIUMS
1021-1025 MASSACHUSETTS AVENUE, ARLINGTON MA

MARCH 03, 2022

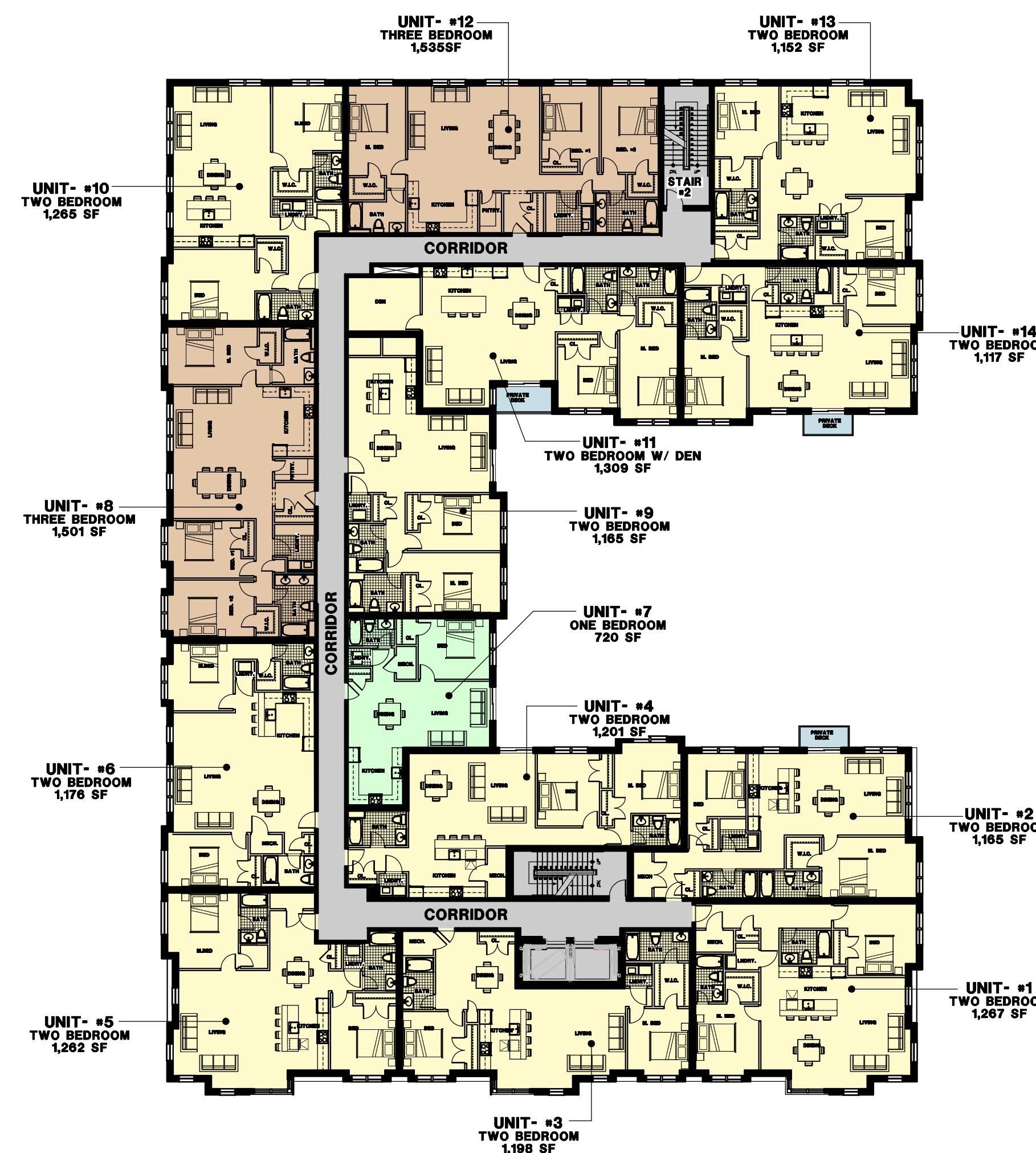


2 n d F L O O R P L A N

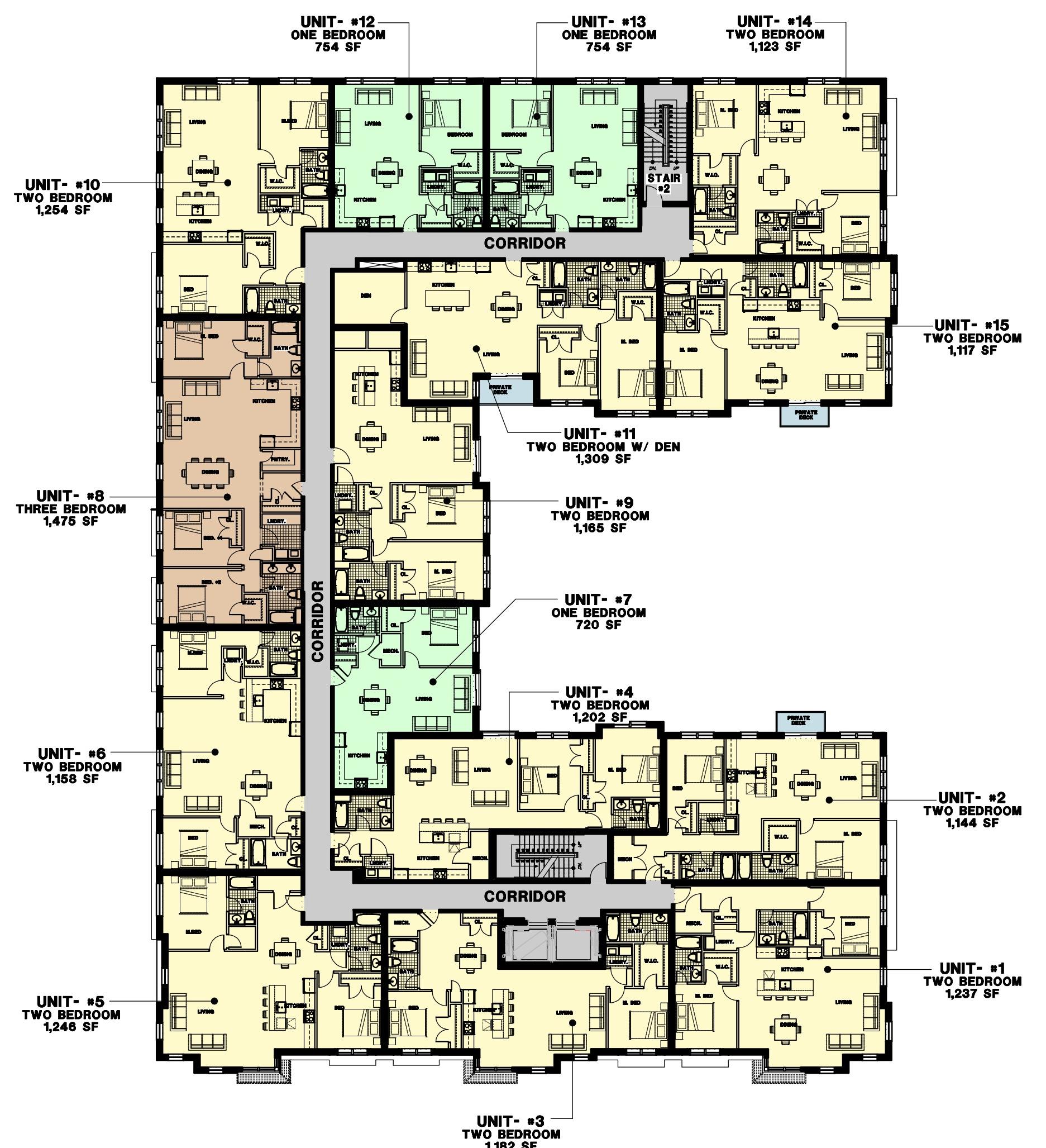
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SHEET #
A1.1



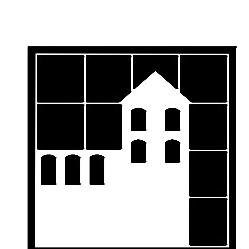
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SCALE: 1" = 20' - 0"



0 10 20 40
SCALE: 1" = 20' - 0"



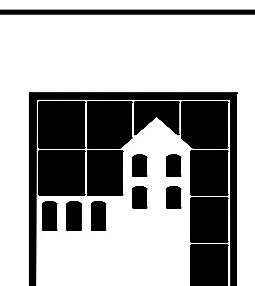
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MARCH 03, 2022



SHEET #
A1.2



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August 27 2021

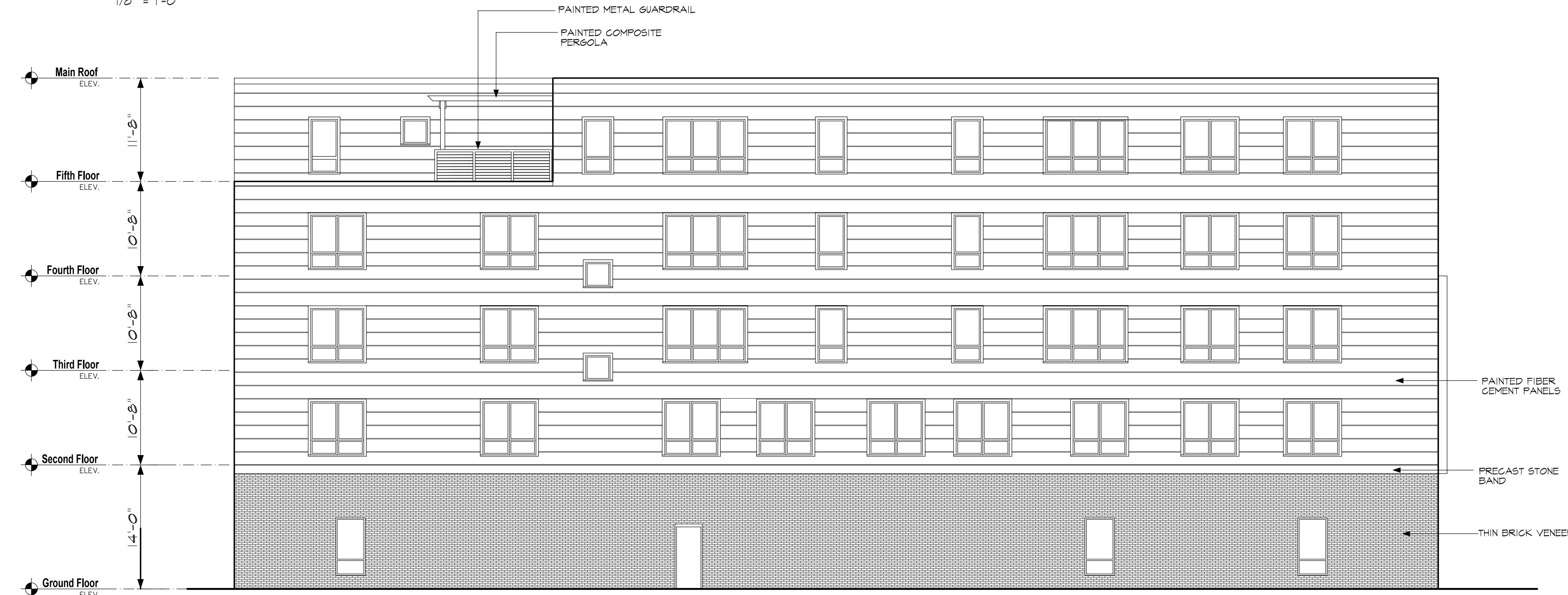


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A1.3



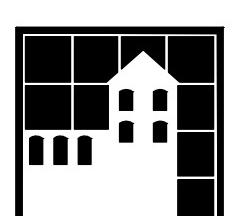
F r o n t E l e v a t i o n

$1/8'' = 1'-0''$



R e a r E l e v a t i o n

$1/8'' = 1'-0''$



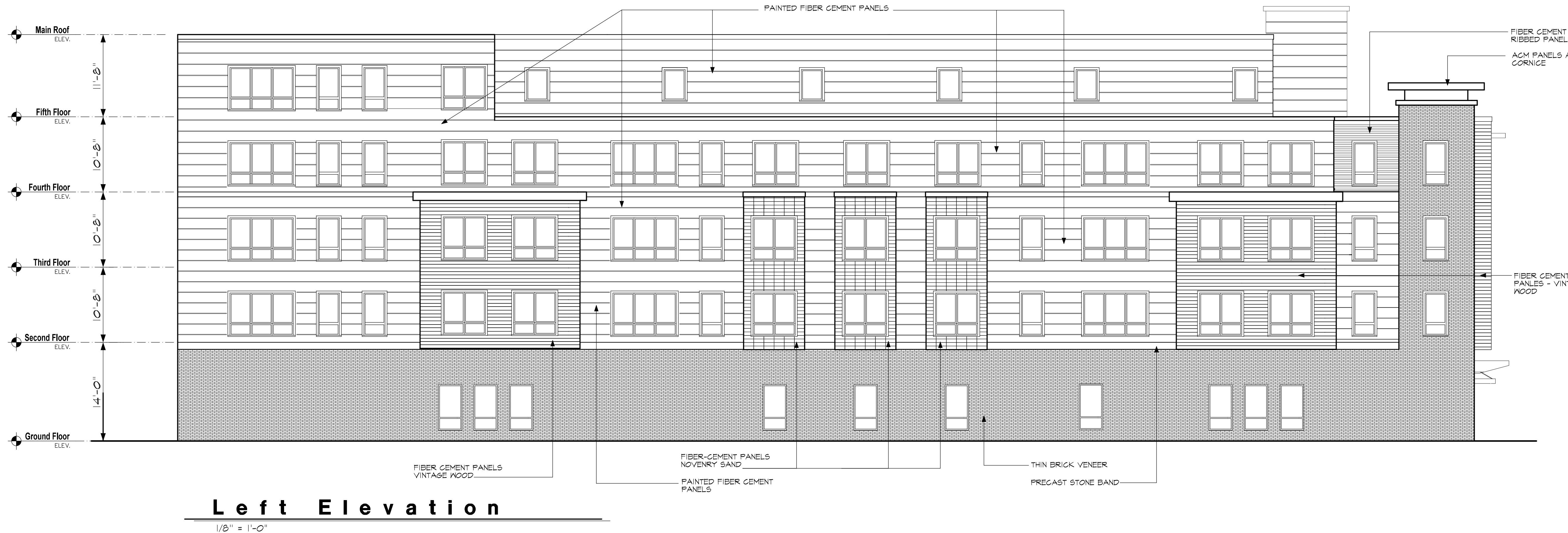
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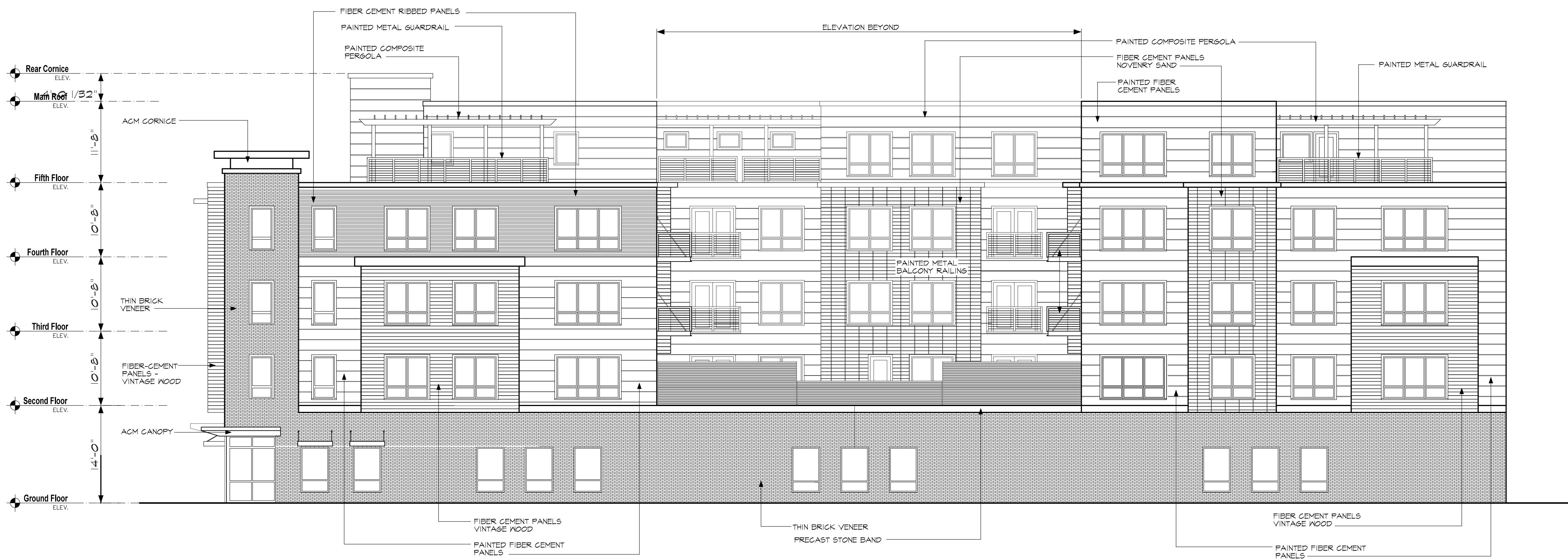


SHEET #
A2.1



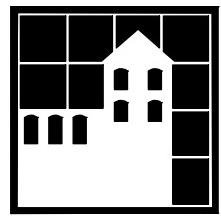
Left Elevation

1/8" = 1'-0"



Right Elevation

1/8" = 1'-0"



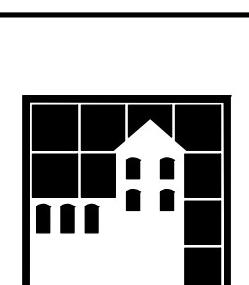
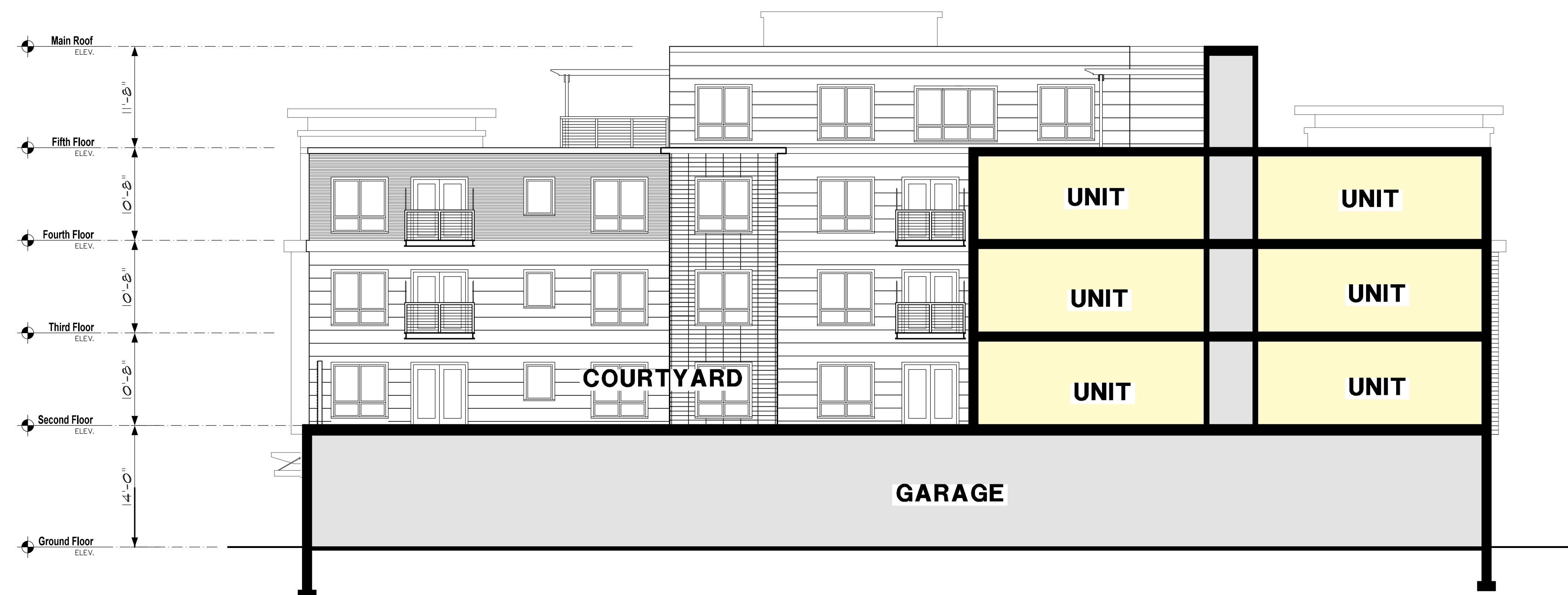
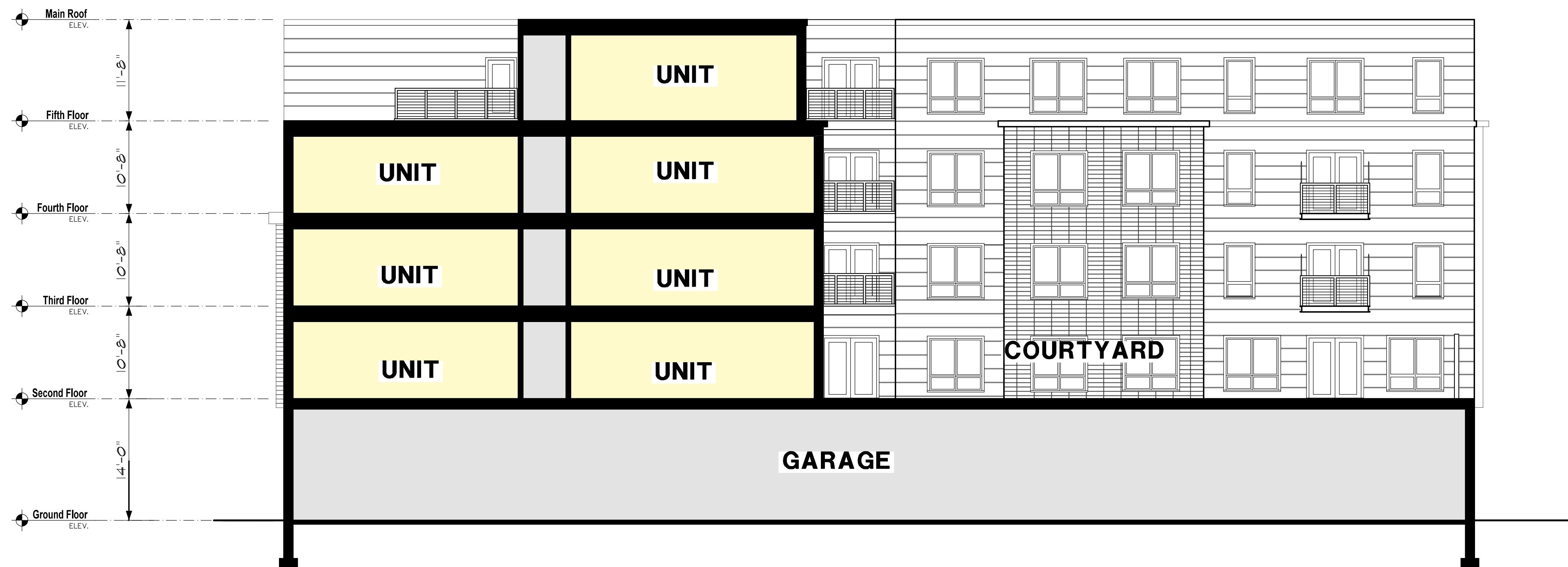
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MARCH 29, 2022



SHEET *
A2.2



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MARCH 29, 2022



SHEET #
A2.3



Attachment 3.3

Narrative Description of Design Approach

1021 Massachusetts Avenue

This project consists of four residential floors above a ground level housing Lobby, Retail, and Parking areas. This ‘podium’ style residential building is typical in this area in direct response to zoning and building code constraints. The residential floors have a C-shaped layout surrounding an open courtyard at the second level, maximizing daylighting and views for the residential units. Additional shared outdoor spaces are located at the setback areas of the fifth level.

The proposed building is sited on a section of Massachusetts Avenue featuring a mix of commercial and residential buildings from one to four stories in height. This building respects the established building line and enlivens the sidewalk with a modest retail plaza. Siting the building towards the street allows the development of an urban park space at the rear sloping down towards Mill Brook. The fifth floor is held back to reduce the height at the street and create additional outdoor living areas.

The elevation designs break down scale of the building with multi-layered planes and a variety of materials. The front divides into three tower-like forms highlighted with dark brick and punctuated with wood look projecting bays. Cantilevered sun shades at the third floor honor the scale of the older adjacent buildings, while the towers themselves are capped with deep profile metal cornices, creating an interesting profile against the sky.

The building features a dark brick base on all sides, with glass storefronts and garage door at the street. The upper stories are clad with brick, composite siding in a variety of colors and textures, curtainwall glazing, and tall operable windows. By breaking down the building scale with towers, bays, and canopies, and cladding with a combination of different materials, colors and textures, the building design enriches its neighborhood with a fresh modern design.

Attachment 3.4

Tabular Zoning Analysis

- Waiver for Multi-family Use
- Dimensional Waivers in Yellow:

Dimensional requirements:

Minimum Lot Area: 5,000 sf
 Minimum Lot Area per Unit: N/A for mixed-use
 Minimum Lot Frontage: 50 ft
 Front Yard Setback: 20ft
 Side Yard Setback: 10 ft
 Rear Yard Setback: 20 ft
 Landscaped Open Space (Section 5.3.21):¹ 10%
 Usable Open Space (Section 5.3.21):² 20%
 Maximum Lot Coverage: N/A
 Maximum Height: 35 ft or 3 stories
 Maximum FAR: .75

Project specifications:

~46,000 sf
 N/A
 ~ 160 feet
 ~11.8 feet
 ~8.7 feet
 ~ 100 feet
 > 10%
 > 20%
 N/A
 61' 8" or 5 stories
 ~ 2

- Waiver for Parking (1 space for unit)

¹ Landscaped Open Space is defined as “Open space designed and developed for pleasant appearance in trees, shrubs, ground covers and grass, including other landscaped elements such as natural features of the site, walks and terraces, and also including open areas accessible to and developed for the use of the occupants of the building located upon a roof not more than 10 feet above the level of the lowest story used for dwelling purposes.”

² Usable Open Space is defined as “The part or parts of a lot designed and developed for outdoor use by the occupants of the lot for recreation, including swimming pools, tennis courts, or similar facilities, or for garden or for household service activities such as clothes drying; which space is at least 75% open to the sky, free of automotive traffic and parking, and readily accessible by all those for whom it is required. Such space may include open area accessible to and developed for the use of the occupants of the building, and located upon a roof not more than 10 feet above the level of the lowest story used for dwelling purposes. Open space shall be deemed usable only if at least 75% of the area has a grade of less than 8%, and no horizontal dimension is less than 25 feet. For newly constructed single-, two-family, and duplex dwellings with surface parking, no horizontal dimension shall be less than 20 feet.”